# MICC HUB DEVELOPMENT

DEVELOPED BY A JOINT VENTURE WITH MICC AND BUMPY LANE









I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

License Number

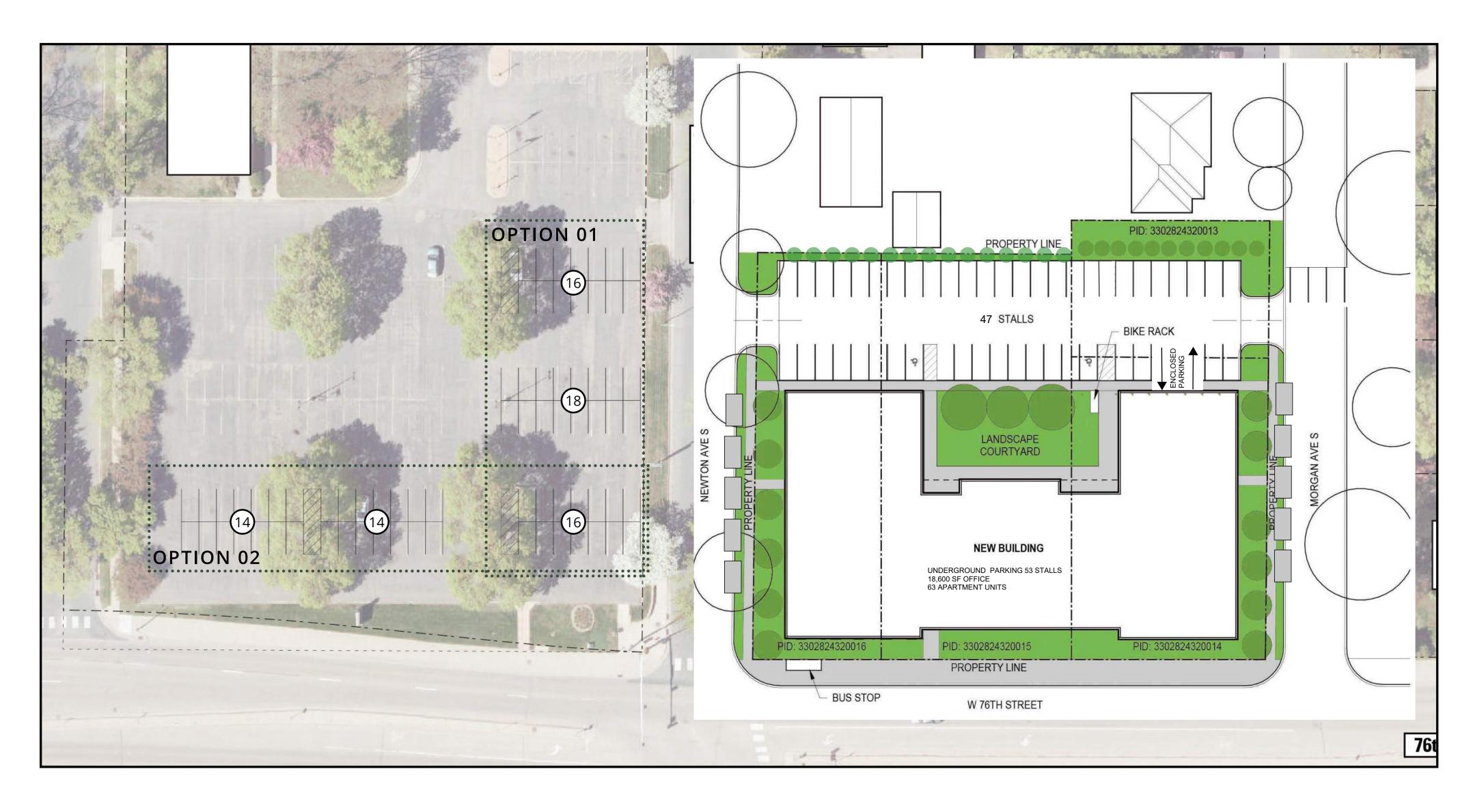
DEVELOPMENT

Project No.	3233.001.00
Drawn By	Author
Checked By	Checker
Date	11/9/22

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice. © Copyright RSP Architects 2020. All rights reserved.

No.	Date	Description
1	9/30/2022	Sketch Plan Review

**COVER SHEET** 









prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

License Number Date Signed

**Project For** 

MICC HUB DEVELOPMENT

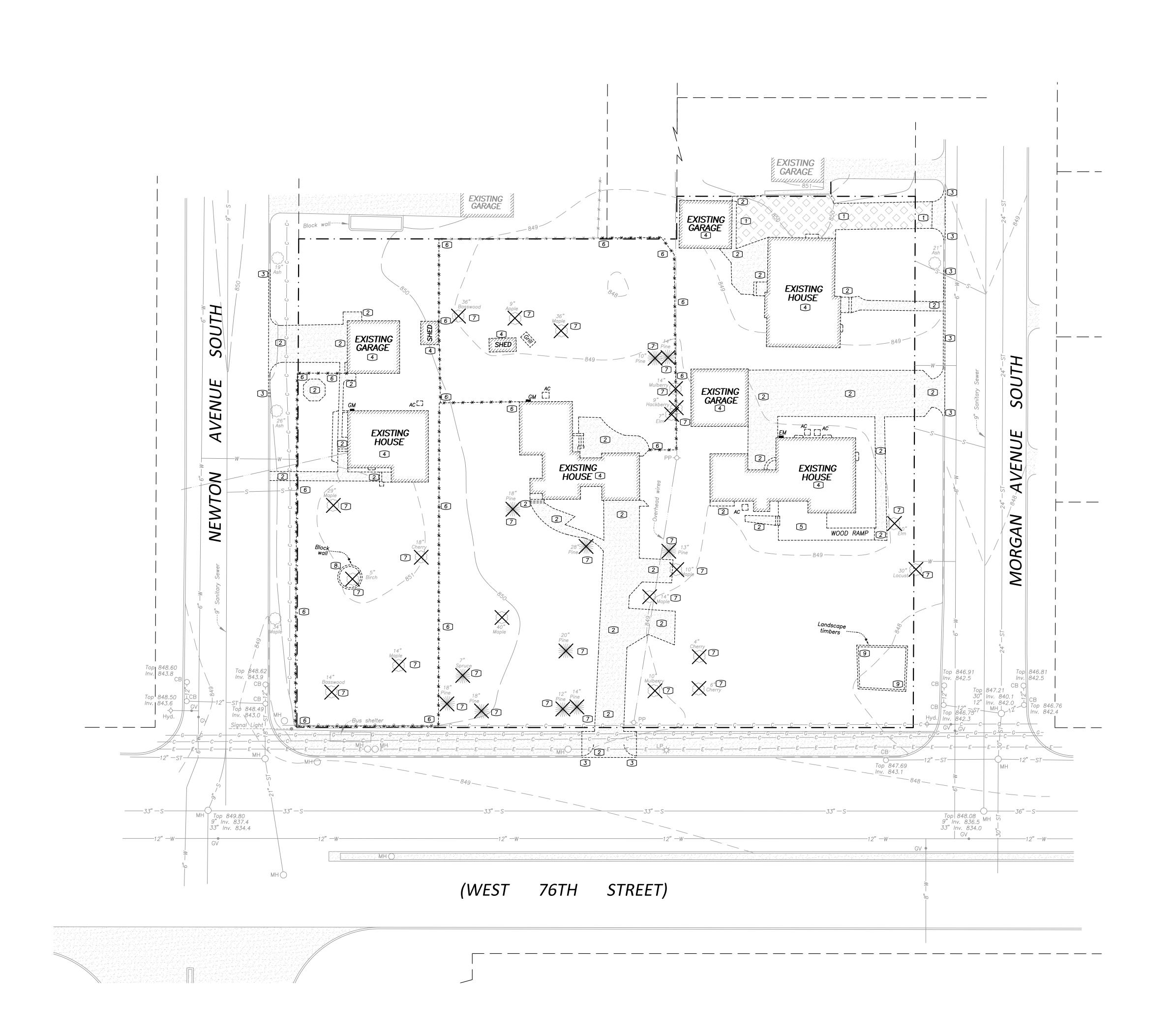
roject No.	3233.001.00
rawn By	Author
hecked By	Checker
ate	11/9/22
OTICE: The designs shown and	described herein including

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved. **Sheet Issues / Revisions** 

No.	Date	Description
1	9/30/2022	Sketch Plan Review

GENERAL INFORMATION



NOTE: CONTRACTOR TO COORDINATE REMOVAL/ABANDONMENT AND RELOCATION OF EXISTING POWER POLES, OVERHEAD ELECTRIC LINES, BURIED ELECTRIC LINES, BURIED COMMUNICATION LINES AND BURIED GAS LINES WITH THE APPROPRAITE UTILITY COMPANY.

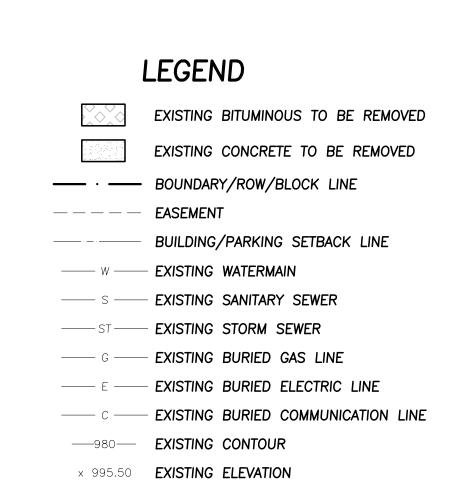
NOTE: SEE ARCHITECTURAL FOR DEMOLITION OF EXISTING BUILDII

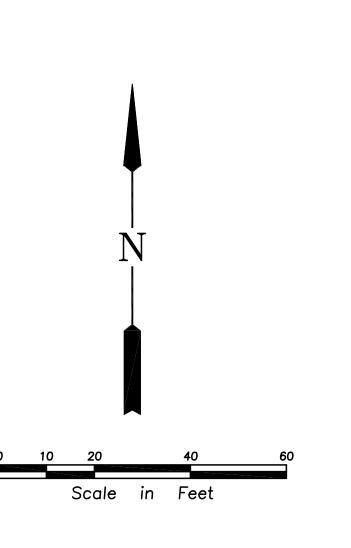
# GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG TWIN CITY AREA 651-454-0002 MN. TOLL FREE 1-800-252-1166 DEMOLITION NOTES

1 - Remove bituminous pavement
2 - Remove concrete pavement
3 - Remove curb & gutter
4 - Remove house/garage/shed
5 - Remove wood deck
6 - Remove fence
7 - Remove tree(s)
8 - Remove brick wall

9 – Remove landscape timbers





RSP

RSP Architects

1220 Marshall Street NE
Minneapolis
Minnesota 55413-1036

R52.677.7100
612.677.7499 fax
www.rsparch.com

REHDER
& ASSOCIATES, INC.
Civil Engineers & Land Surveyors
3440 Federal Drive, Suite 110
Eagan, MN 55122
Telephone: 651-452-5051

www.rehder.com Project No.: 221-0591.343

Certification

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Name
Registration Number

Project For

MICC HUB DEVELOPMENT

 Project No.
 3233.001.00

 Drawn By
 NPA

 Checked By
 NPA

 Date
 11/9/22

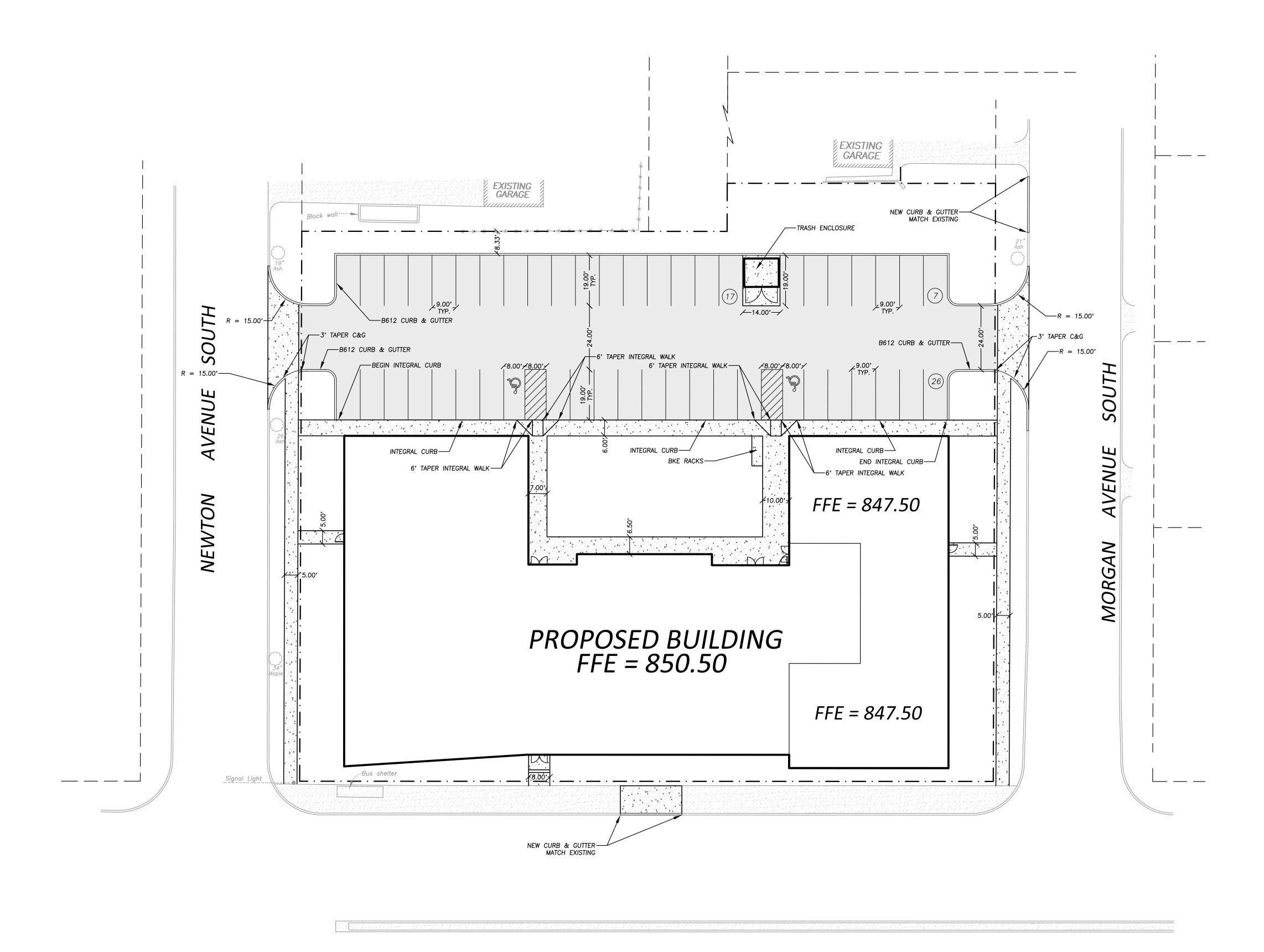
NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors

© Copyright RSP Architects 2019. All rights reserved.

and office personnel only in accordance with this Notice.

No.	Date	Description
1	9/30/22	Sketch Plan Revi
-+		

SITE DEMOLITION PLAN



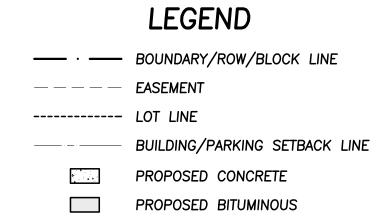
(WEST 76TH STREET)

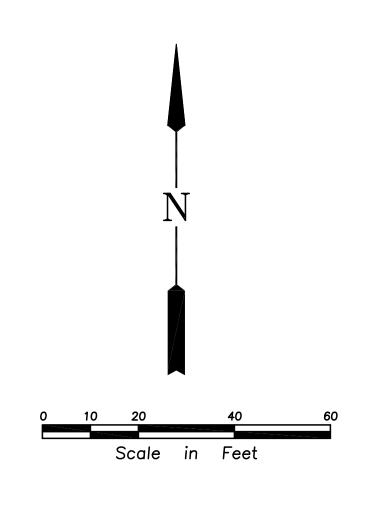
GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

SITE SUMMARY

SITE AREA = 1.28 ACRES
DISTURBED AREA = 1.28 ACRES
EXISTING IMPERVIOUS AREA = 0.32 ACRES
POST CONSTRUCTION IMPERVIOUS AREA = 1.03 ACRES





RSP

RSP Architects

1220 Marshall Street NE 612.677.7100

Minneapolis 612.677.7499 fax

Minnesota 55413-1036 www.rsparch.com

REHDER
& ASSOCIATES, INC.
Civil Engineers & Land Surveyors
3440 Federal Drive, Suite 110
Eagan, MN 55122
Telephone: 651-452-5051

www.rehder.com

Project No.: 221-0591.343

Certification

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Name Registration Number

roject For

. POI

MICC HUB DEVELOPMENT

 Project No.
 3233.001.00

 Drawn By
 NPA

 Checked By
 NPA

 Date
 11/9/22

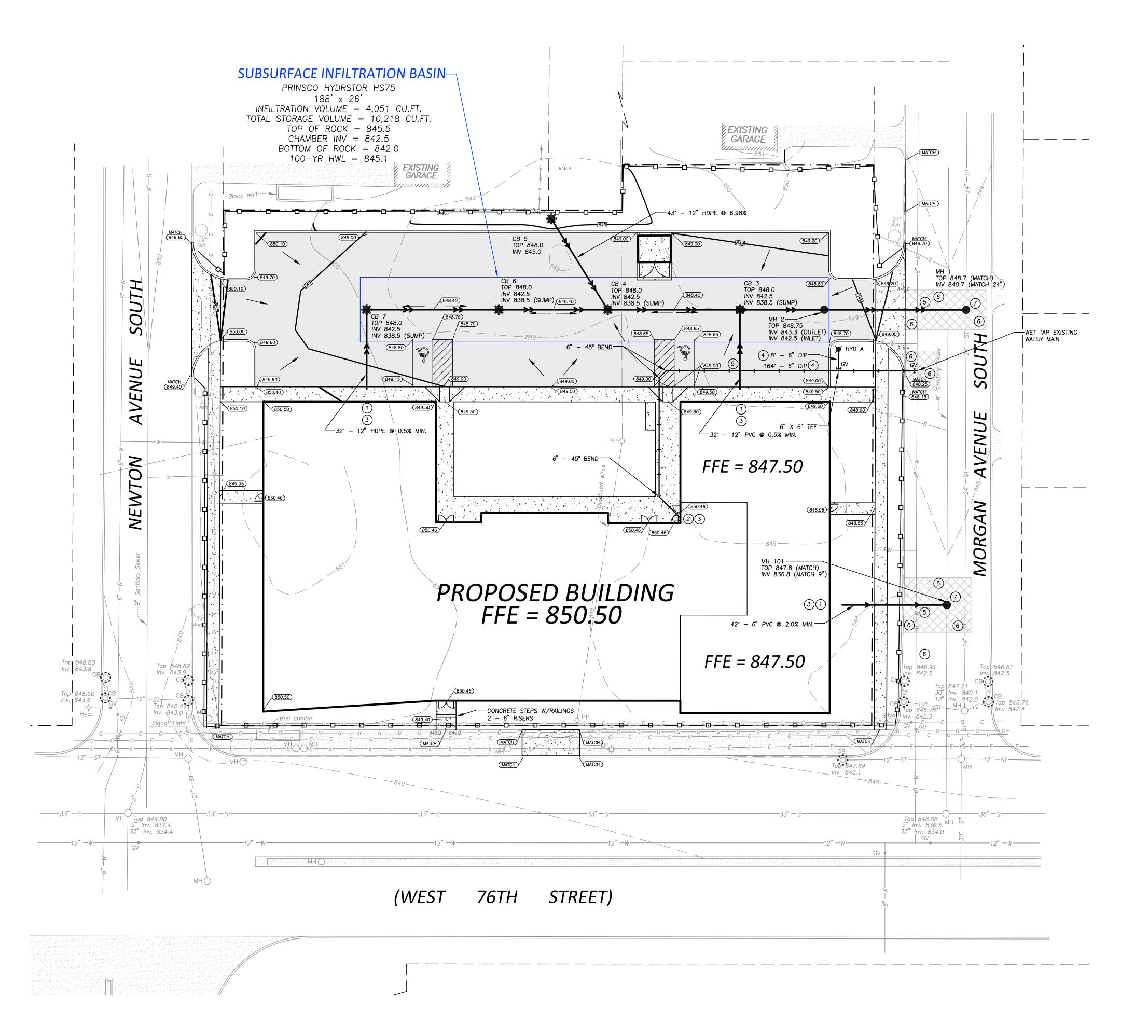
NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2019. All rights reserved.

Revisions

No.	Date	Description
1	9/30/22	Sketch Plan Revie

SITE DIMENSION PLAN



GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG TWIN CITY AREA 651-454-0002 MN. TOLL FREE 1-800-252-1166

#### GRADING NOTES

1 — All elevations shown are to final surfaces.

2 — Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

#### EROSION CONTROL NOTES

- 1 Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- 2 All erosion control measures shown shall be installed prior to grading operations and maintained
- until all areas disturbed have been restored.
- $\langle 3 \rangle$  Sweep paved public streets as necessary where construction sediment has been deposited.  $\langle 4 \rangle$  Each area disturbed by construction shall be restored per the specifications within 14 days after
- the construction activity in that portion of the site has temporarily or permanently ceased.
- (5) Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- 6 Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.

#### INSPECTION AND MAINTENANCE

- The site must be inspected once every seven (7) days during active construction and within 24 hours
- after a rainfall event greater than 0.5 inches in 24 hours.
- All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
   Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced
- to once per month.
- All silt fence must be repaired, replaced, or supplemented within 24 hours when they become nonfunctional or the sediment reaches 1/3 of the height of the fence
- or the sediment reaches 1/3 of the height of the fence.

   Construction site vehicle exit locations must have sediment removed from off—site paved surfaces within
- Construction site vehicle exit locations must have sediment removed from off—site paved surfaces with 24 hours of discovery.
- Infiltration areas shall be graded to finished grade when all contributing drainage areas have been stabilized.
   Protect infiltration area from sediment and heavy equipment compaction during/after construction with silt fence.

## POLLUTION PREVENTION MANAGEMENT

- All solid waste must be disposed of off—site per the MPCA disposal requirements.
- All hazardous waste must be properly stored with restricted access to storage areas to prevent vandalism.
   Storage and disposal of hazardous waste must be in compliance with MPCA Regulations.

## UTILITY NOTES

- $\bigcirc$  All sewer services to extend to a point 5' from proposed building.
- 2 Bring water main into proposed building and cap at the floor.
  (3) Verify all service locations and inverts with mechanical engineer before construction.
- 4 All watermain to have a minimum of 7.5' of cover.
- 5 Maintain a minimum of 18" of vertical separation between watermain & sewer.
  6 Remove & replace existing bituminous pavement and curb & gutter, match existing sections.
- (7) Remove & replace existing bituminous pavement (7) Construct proposed manhole over existing sewer.

# CATCH BASIN/MANHOLE SCHEDULE

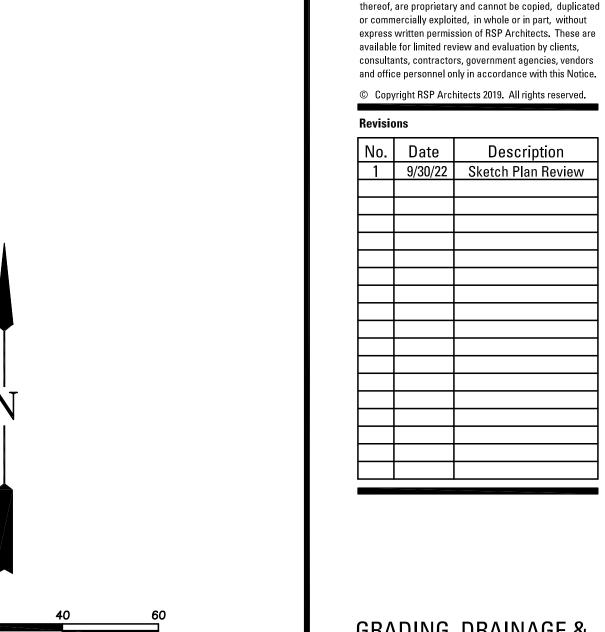
RUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
MH 1	48"	R-1642B
MH 2	48"	R-1642B
CB 3	48"	R-2573-1C
CB 4	48"	R-2573-1C
CB 5	27"	R-2573-1C
CB 6	48"	R-2573-1C
CB 7	48"	R-2573-1C
MH 101	48"	R-2573

## HYDRANT SCHEDULE

HYDRANT NO.	BREAKOFF FLANGE
HYD A	XXX.XX

## LEGEN

	LEGEN	D	
	PROPOSED MANHOLE/CATCH BASIN	<u> </u>	BOUNDARY/ROW/BLOCK LINE
<del>-</del>	PROPOSED HYDRANT		EASEMENT
▶4	PROPOSED GATE VALVE		BUILDING/PARKING SETBACK LINE
<b>→→</b>	PROPOSED STORM SEWER		DRAINAGE ARROW
<del></del>	PROPOSED SANITARY SEWER	——— W ———	EXISTING WATERMAIN
<del></del>	PROPOSED WATERMAIN	—— s ——	EXISTING SANITARY SEWER
	PROPOSED CONCRETE	ST	EXISTING STORM SEWER
	PROPOSED STD. DUTY BITUMINOUS	——— G ———	EXISTING BURIED GAS LINE
////	PROPOSED HEAVY DUTY BITUMINOUS	—— Е ——	EXISTING BURIED ELECTRIC LINE
1050	PROPOSED CONTOUR	———— C ———	EXISTING BURIED COMMUNICATION LINE
• (1023.54)	PROPOSED ELEVATION	980	EXISTING CONTOUR
	SILT FENCE	× 995.50	EXISTING ELEVATION
* * * * * * * * * * * * * * * * * * *	INLET PROTECTION DEVICE		



GRADING, DRAINAGE & EROSION CONTROL PLAI

1220 Marshall Street NE 612.677.7100

3440 Federal Drive, Suite 110

Telephone: 651-452-5051 www.rehder.com Project No.: 221-0591.343

Eagan, MN 55122

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and

that I am a duly licensed Professional Engineer under the

MICC HUB

DEVELOPMENT

3233.001.00

NPA

11/9/22

Checked By

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models

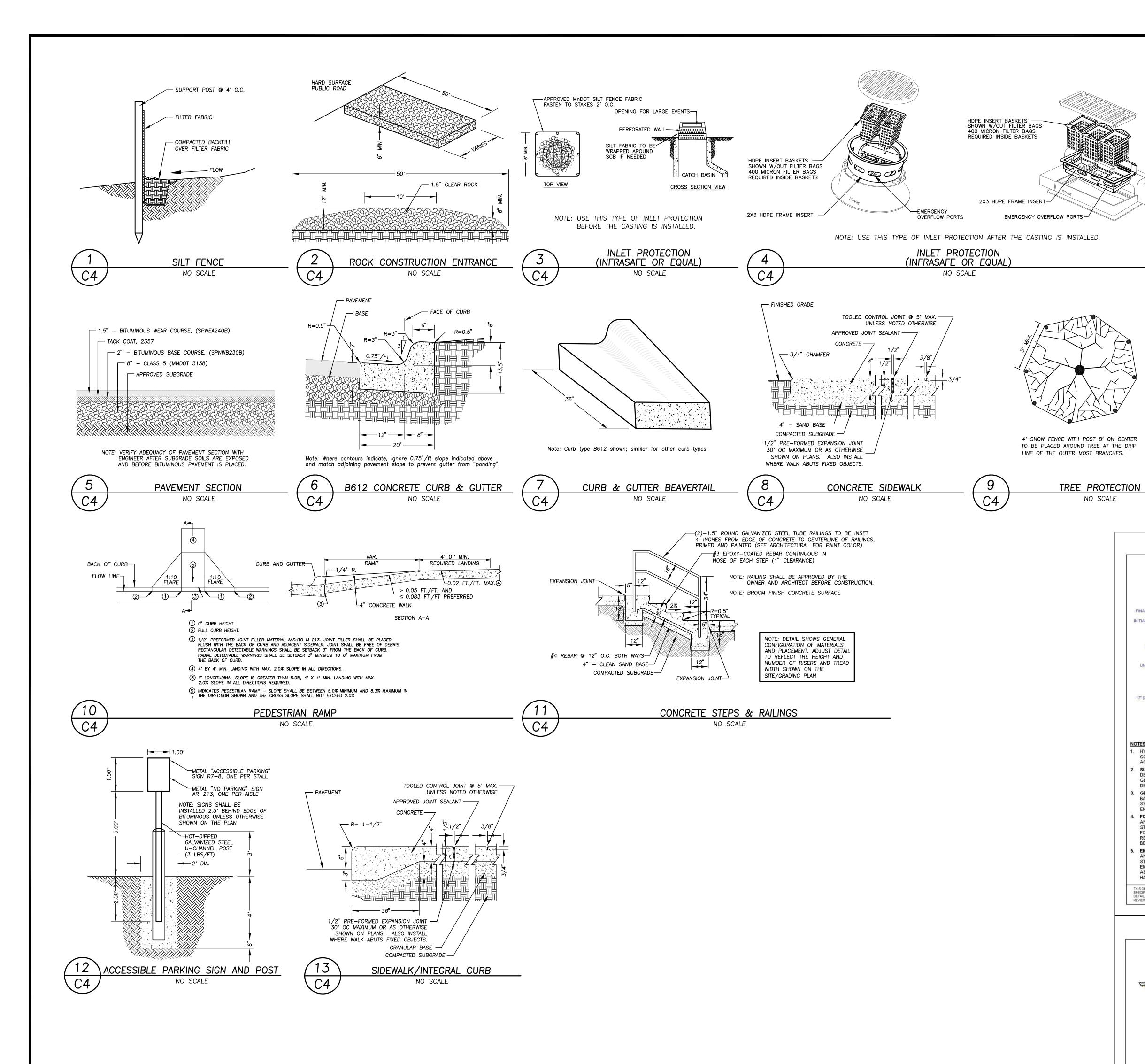
laws of the State of Minnesota.

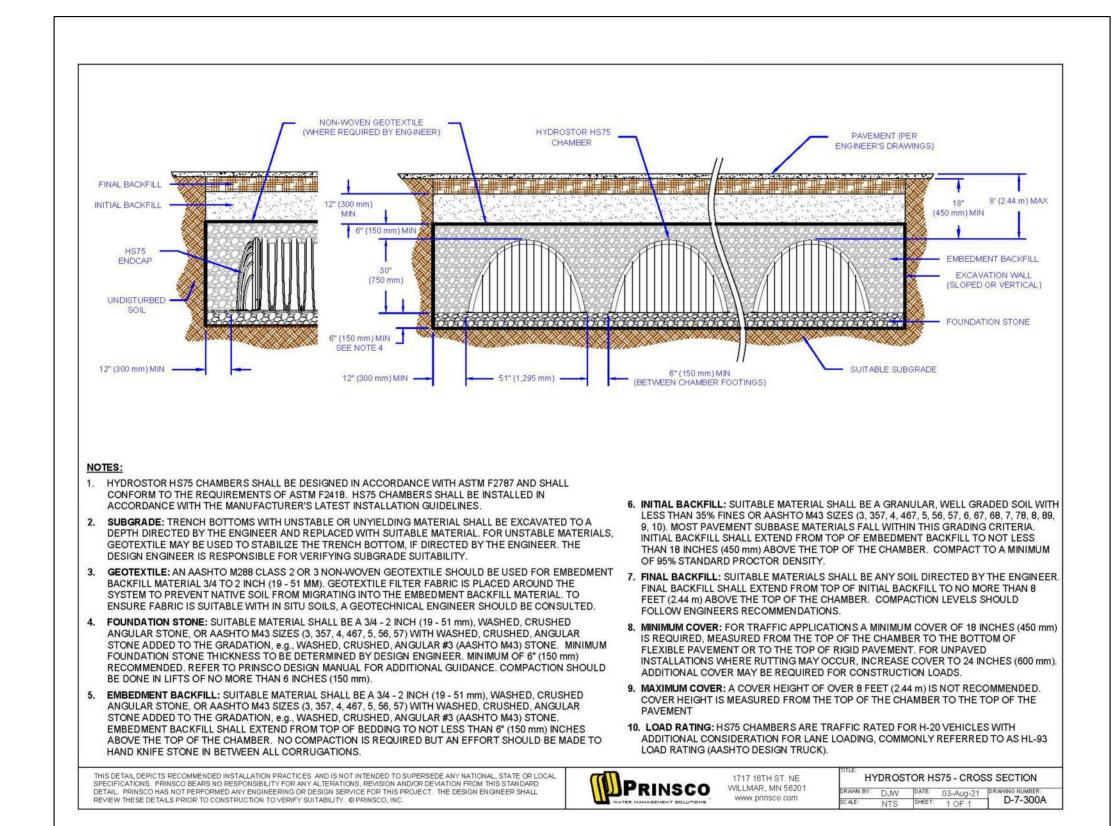
Registration Number

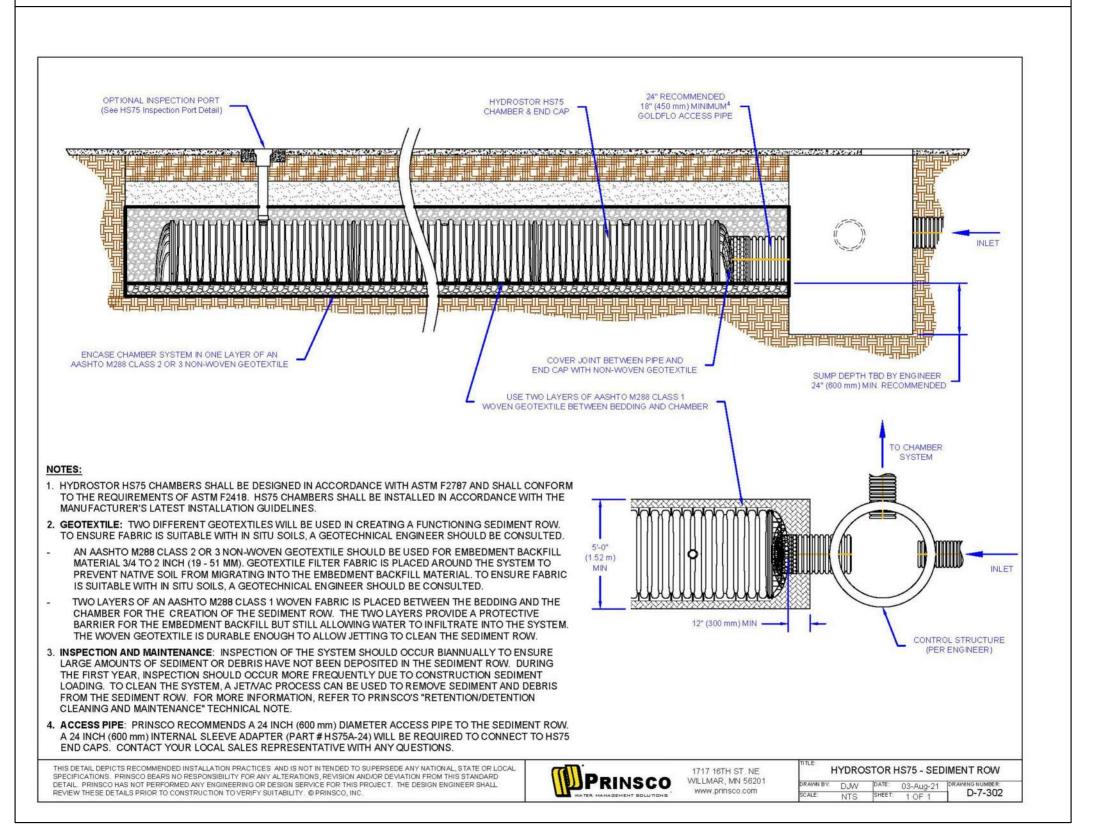
Minneapolis

Minnesota 55413-1036

C103









RSP Architects
1220 Marshall Street NE
Minneapolis
Minnesota 55413-1036

612.677.7100
612.677.7499 fax
www.rsparch.com



www.rehder.com
Project No.: 221-0591.343



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Name Registration Number

e . . <del>.</del>

.croi

MICC HUB DEVELOPMENT

Project No. 3233.001.00

Drawn By NPA

Checked By NPA

Date 11/9/22

NOTICE: The designs shown and described herein

including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated

or commercially exploited, in whole or in part, without

express written permission of RSP Architects. These are

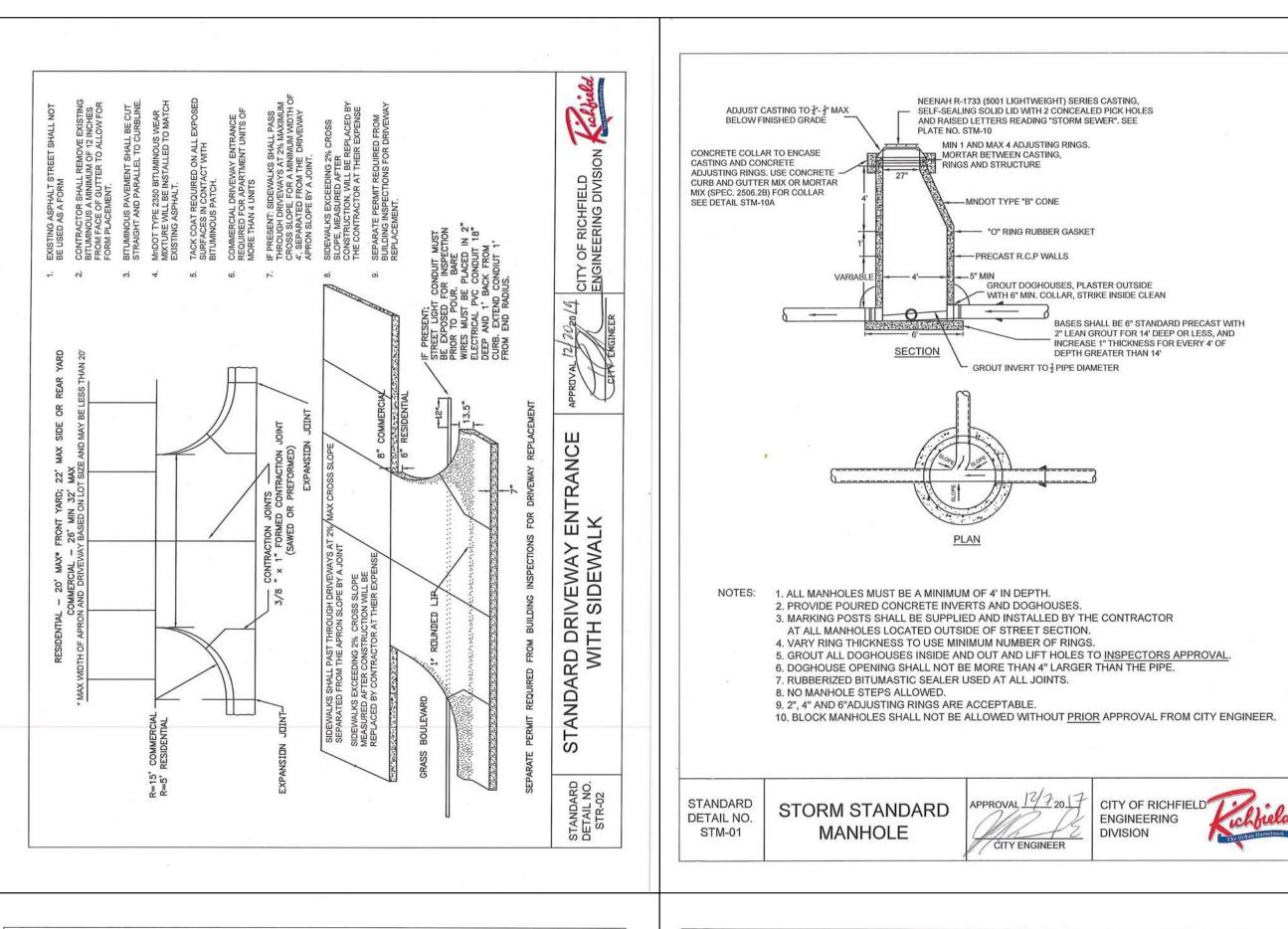
available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

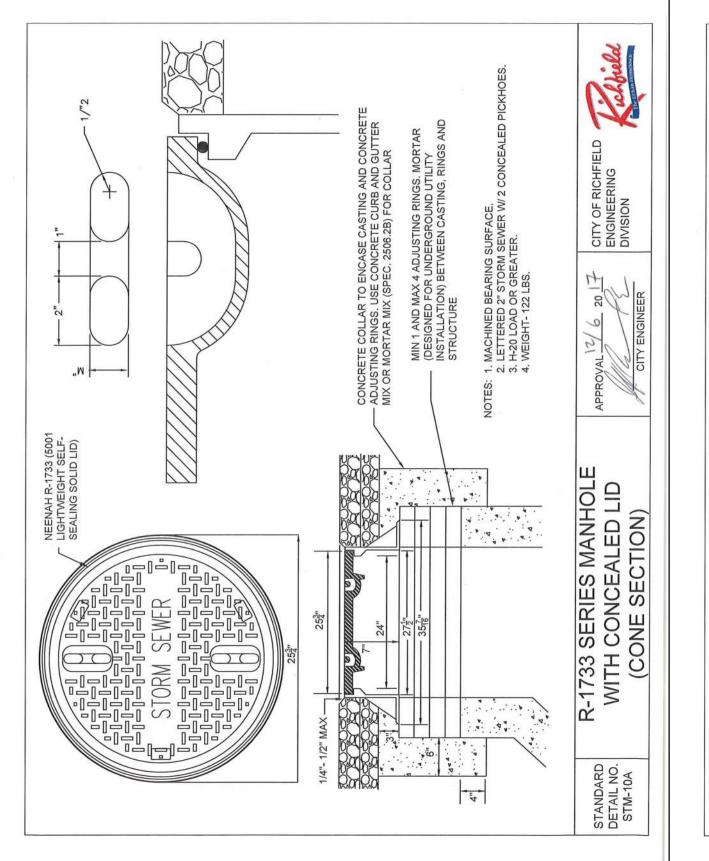
© Copyright RSP Architects 2019. All rights reserved.

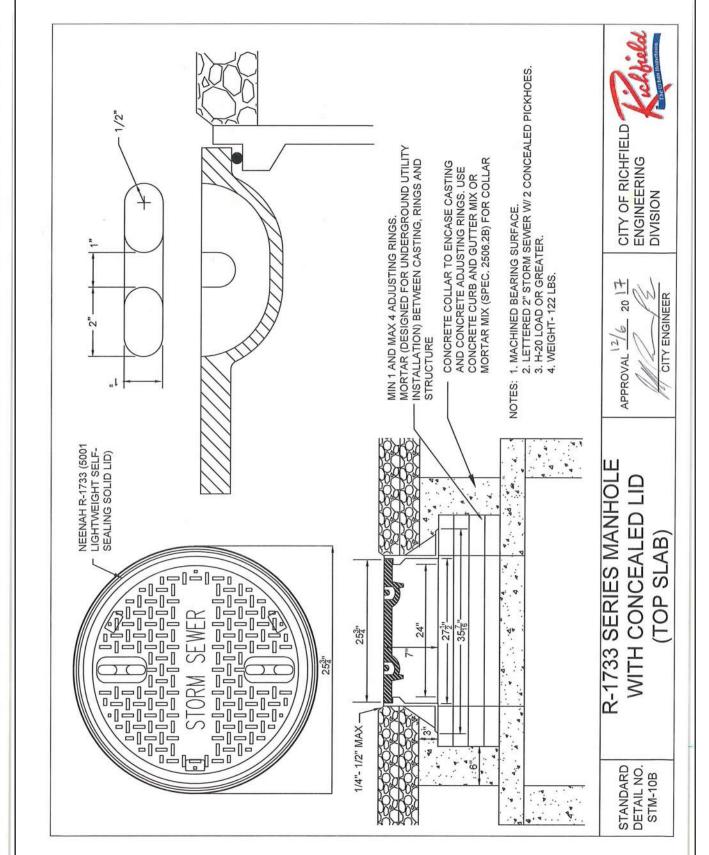
No. Date Description

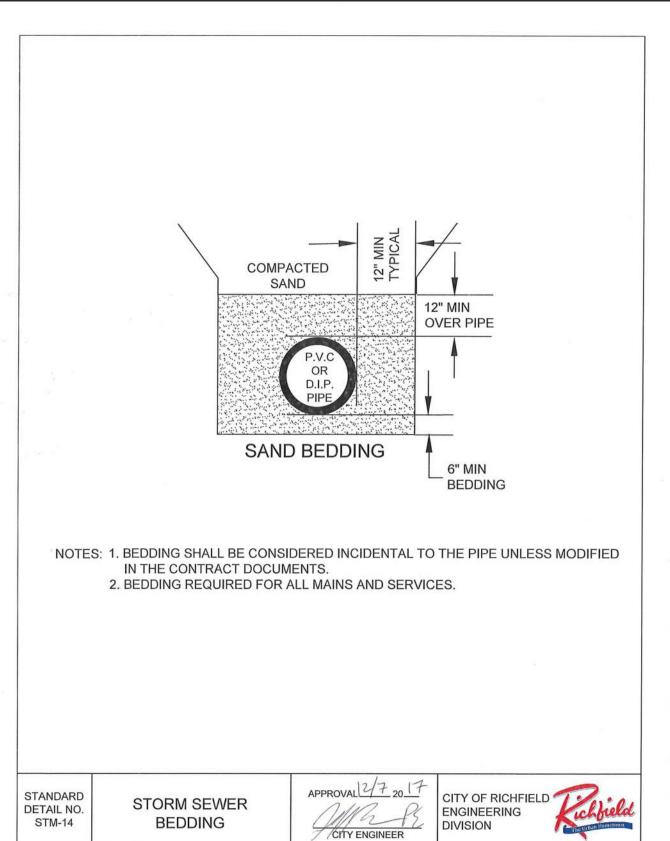
1 9/30/22 Sketch Plan Review

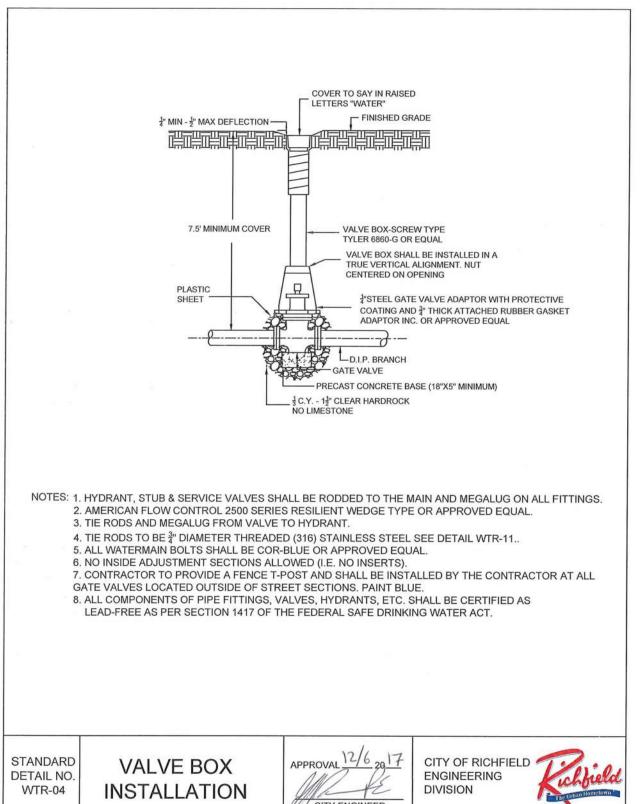
DETAILS & SPECIFICATIONS

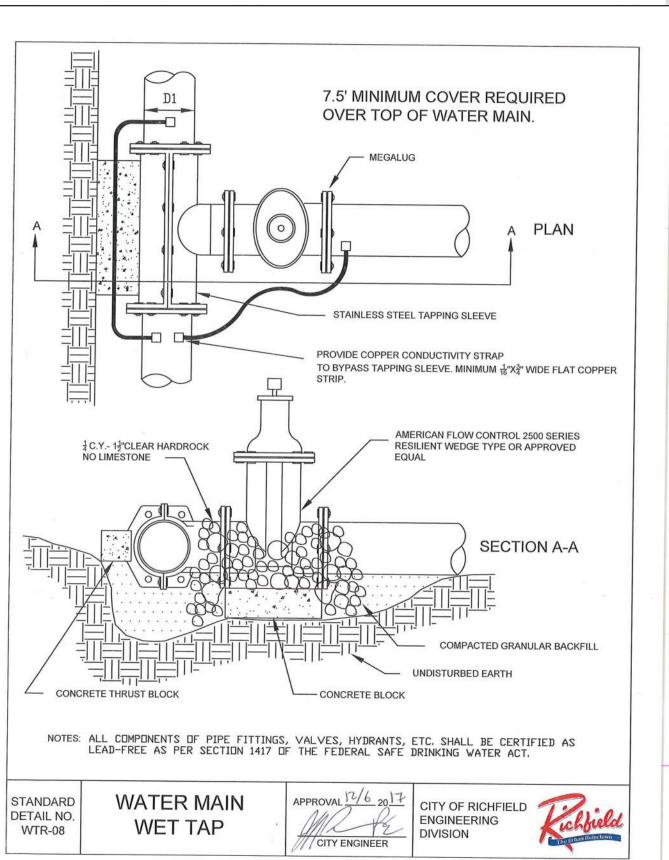


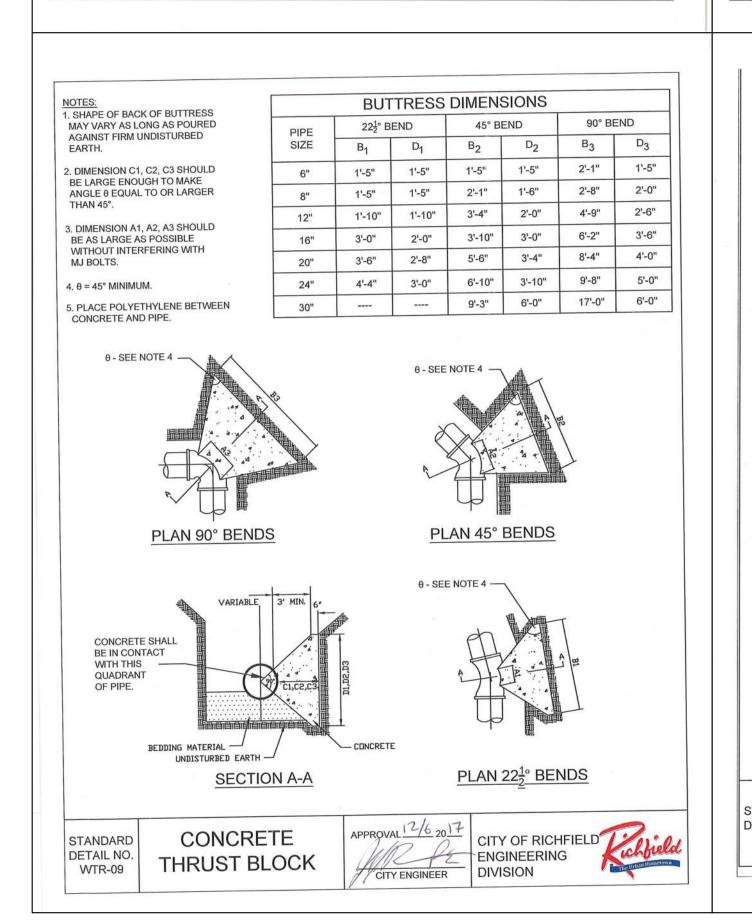


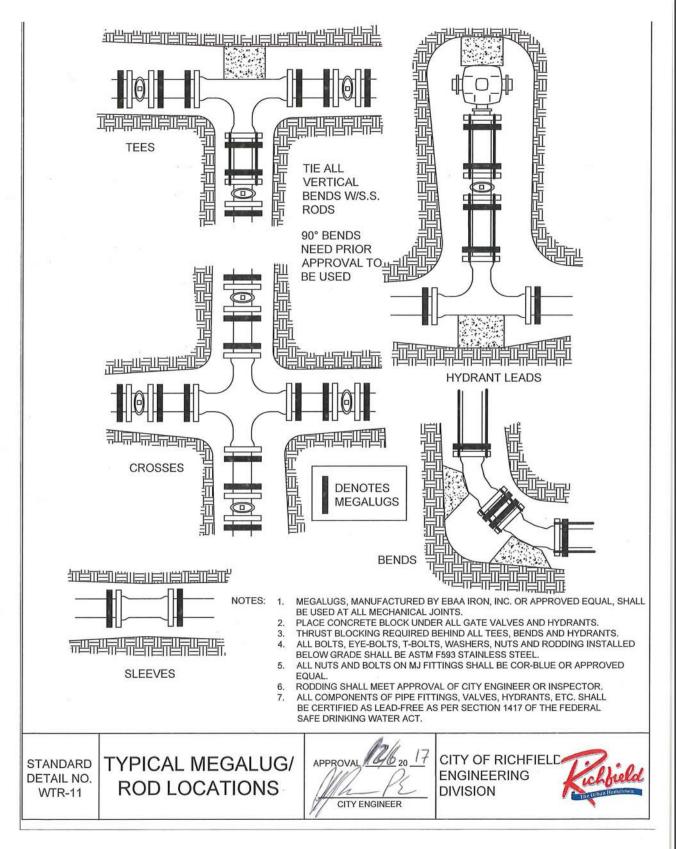


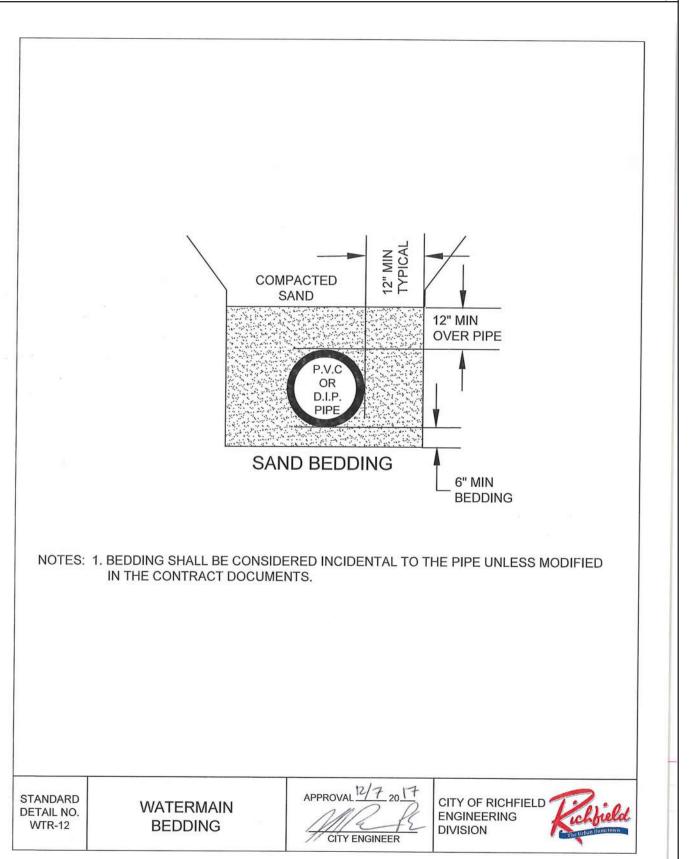












RSP Architects
1220 Marshall Street NE Minneapolis 612.677.7499 fax Www.rsparch.com



www.rehder.com
Project No.: 221-0591.343

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Registration Number

Date

ct For

MICC HUB

Project No.	3233.001.00
Drawn By	NPA
Checked By	NPA
Date	11/9/22

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

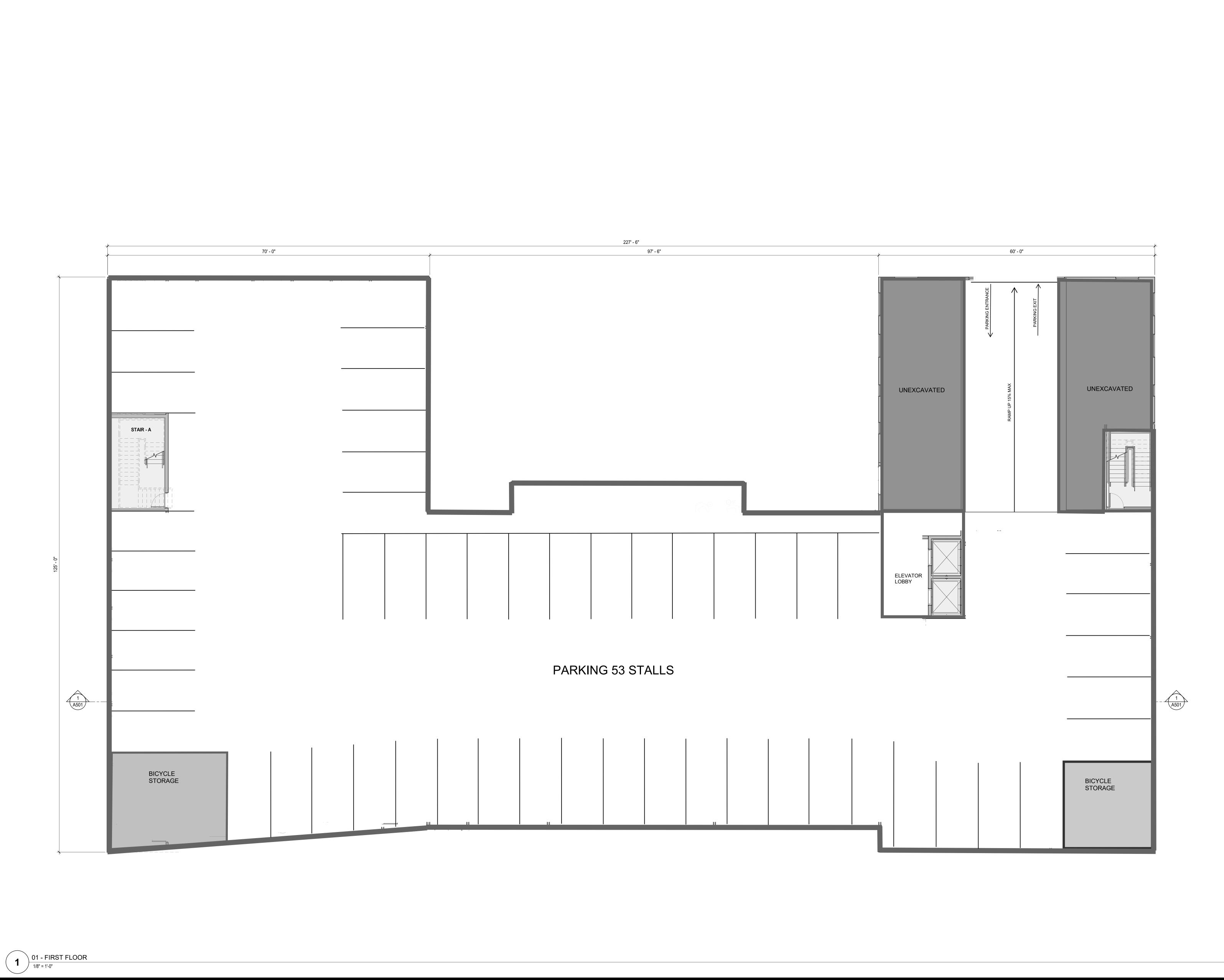
© Copyright RSP Architects 2019. All rights reserved.

Revisions

No.	Date	Description
1	9/30/22	Sketch Plan Review

CITY DETAILS

C105







I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Name	
License Number	
Date Signed	
Date digited	

Project For

,000.0.

MICC HUB DEVELOPMENT

Project No.	3233.001.00
Drawn By	Author
Checked By	Checker
Date	11/9/22

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2022. All rights reserved.

Sheet Issues / Revisions

No.	Date	Description
1	9/30/2022	Sketch Plan Review

LOWER LEVEL FLOOR PLAN

A100



**RSP Architects** 1220 Marshall Street NE 612.677.7100 Minneapolis Minnesota 55413-1036 www.rsparch.com



prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

License Number Date Signed

DEVELOPMENT

Drawn By	Author	
Checked By	Checker	
Date	11/9/22	

permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice. © Copyright RSP Architects 2022. All rights reserved.

No.	Date	Description
1	9/30/2022	Sketch Plan Reviev

FIRST FLOOR PLAN

2,875 SF

1,097 SF

446 SF

23,027 GSF

PARKING RAMP

NET TO GROSS

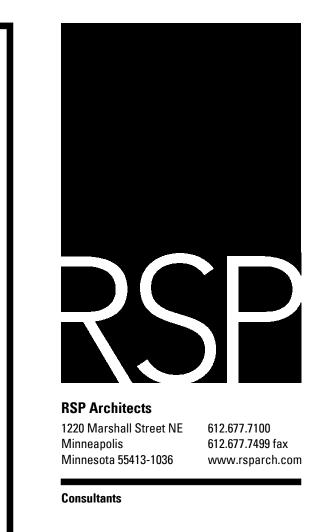
TOTAL AREA

01 - FIRST FLOOR

1/8" = 1'-0"

	Apartment Units				
Level	1BR	2Br	3BR	Tota	
Level 2		2	8	4	14
Level 3		3	14	0	17
Level 4		3	14	0	17
Level 5		3	12	0	15
Total		11	48	4	63







I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Name
License Number
Date Signed

riojectioi

MICC HUB DEVELOPMENT

Project No.	3233.001.00
Drawn By	Author
Checked By	Checker
Date	11/9/22
NOTICE: The designs shown and all technical drawings, graphics proprietary and cannot be copied, exploited, in whole or in part permission of RSP Architects. The	s, and models thereof, are duplicated or commercially without express written

review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved.

Sheet Issues / Revisions

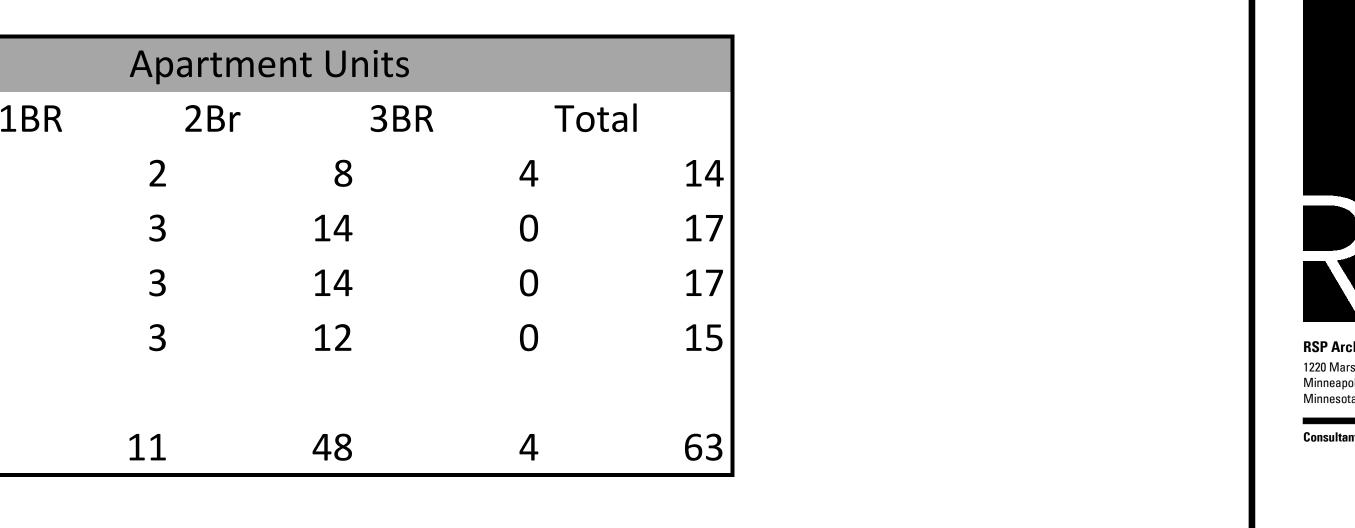
No.	Date	Description
1	9/30/2022	Sketch Plan Review

SECOND FLOOR PLAN

A102

02 - SECOND FLOOR PLAN

		Apartm	ent Units		
Level	1BR	2Br	3BR	Total	
Level 2		2	8	4	14
Level 3		3	14	0	17
Level 4		3	14	0	17
Level 5		3	12	0	15
Total		11	48	4	63



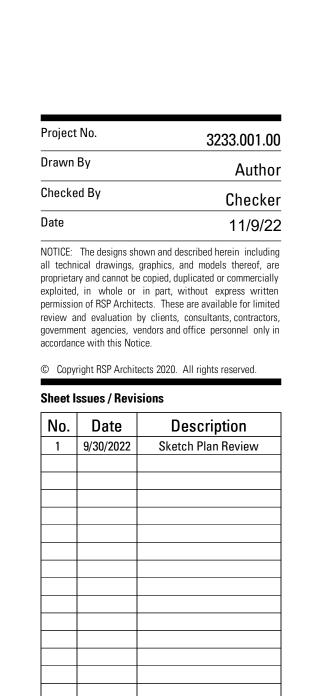




I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Name	
License Number	
Date Signed	

MICC HUB DEVELOPMENT

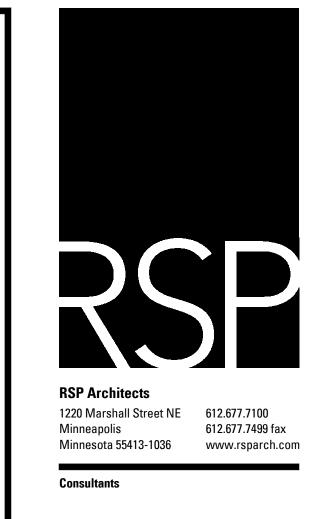


THIRD FLOOR PLAN



		Apartm	ent Units		
Level	1BR	2Br	3BR	Tota	al
Level 2		2	8	4	14
Level 3		3	14	0	17
Level 4		3	14	0	17
Level 5		3	12	0	15
Total		11	48	4	63







I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Name
License Number
Date Signed

Project For

MICC HUB DEVELOPMENT

Project No.

Drawn By

Author

Checked By

Checker

Date

11/9/22

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved.

Sheet Issues / Revisions

No.	Date	Description
1	9/30/2022	Sketch Plan Review

FOURTH FLOOR PLAN

A104

		Apartm	ent Units		
Level	1BR	2Br	3BR	Tota	al
Level 2		2	8	4	14
Level 3		3	14	0	17
Level 4		3	14	0	17
Level 5		3	12	0	15
Total		11	48	4	63







I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Name	
License Number	
Date Signed	

110,000101

MICC HUB DEVELOPMENT

Project No.	3233.001.00
Orawn By	Author
Checked By	Checker
Oate	11/9/22
IOTICE: The designs shown and of technical drawings, graphics, roprietary and cannot be copied, of	and models thereof, are

exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved.

Sheet Issues / Revisions

No.	Date	Description	
1	9/30/2022	Sketch Plan Review	

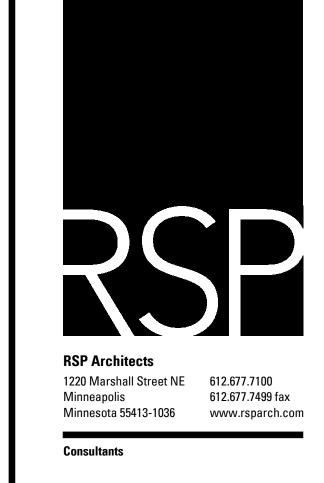
FIFTH FLOOR PLAN

A105

06 - SIXTH FLOOR PLAN

1/8" = 1'-0"







I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Name
License Number
Date Signed

ject For

....

MICC HUB DEVELOPMENT

Project No.	3233.001.00
Drawn By	Author
Checked By	Checker
Date	11/9/22
all technical drawings, gra proprietary and cannot be co exploited, in whole or in	n and described herein including phics, and models thereof, are pied, duplicated or commercially part, without express written s. These are available for limited

review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved.

No.	Date	Description
1	9/30/2022	Sketch Plan Review

EXTERIOR ELEVATIONS

A401





RSP Architects
1220 Marshall Street NE
Minneapolis
Minnesota 55413-1036

Minnesota 55413-1036

Minnesota 55413-1036

Certification



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Name
License Number
Date Signed

Project For

\_\_\_\_

MICC HUB DEVELOPMENT

Project No.

Drawn By

Author

Checked By

Checker

Date

11/9/22

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially

exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in

accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved.

No.	Date	Description
1	9/30/2022	Sketch Plan Review

EXTERIOR ELEVATIONS

A402

*)* 1/8" = 1'-0"

BUILDING ELEVATION - NORTH Copy 1